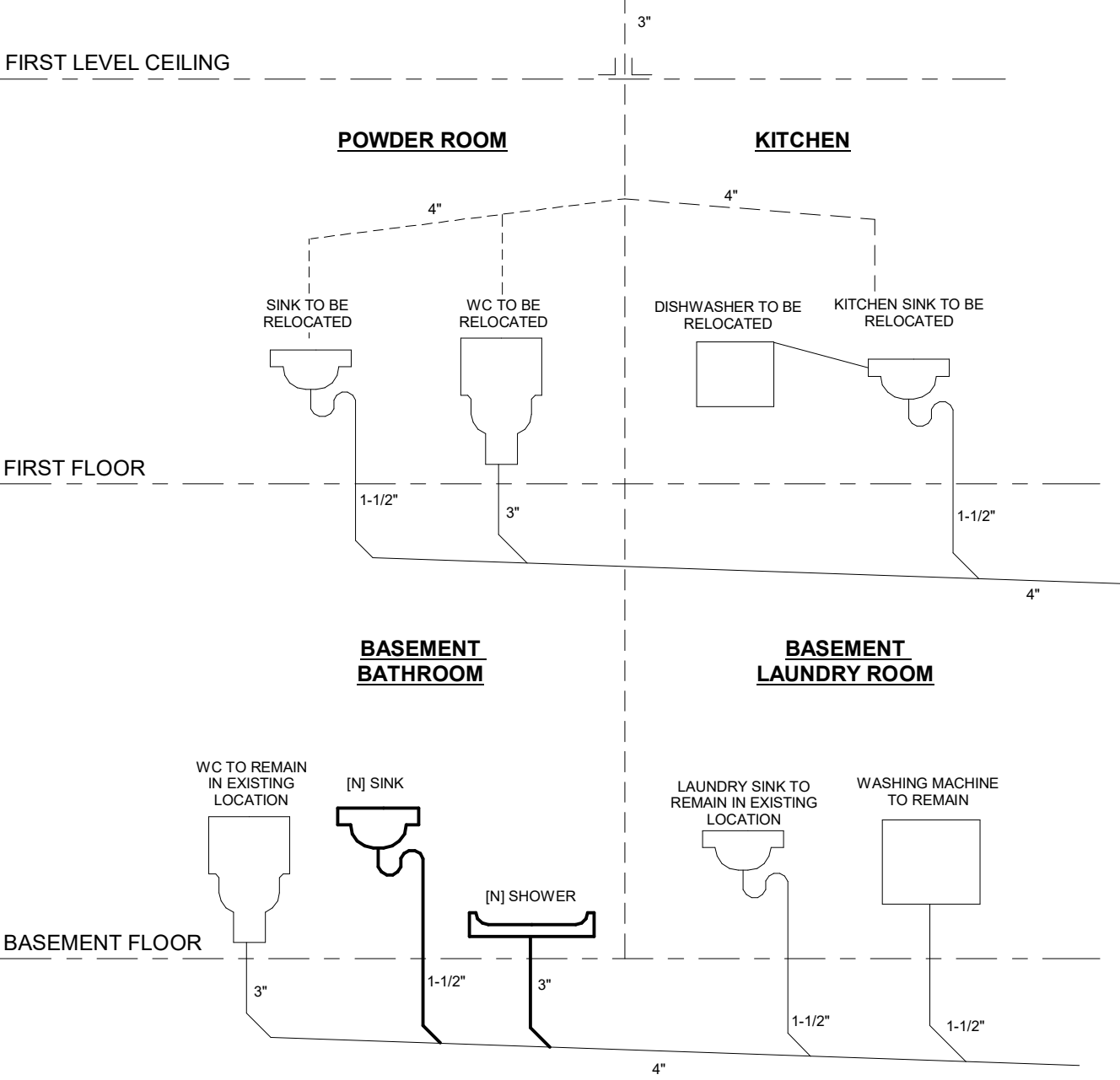
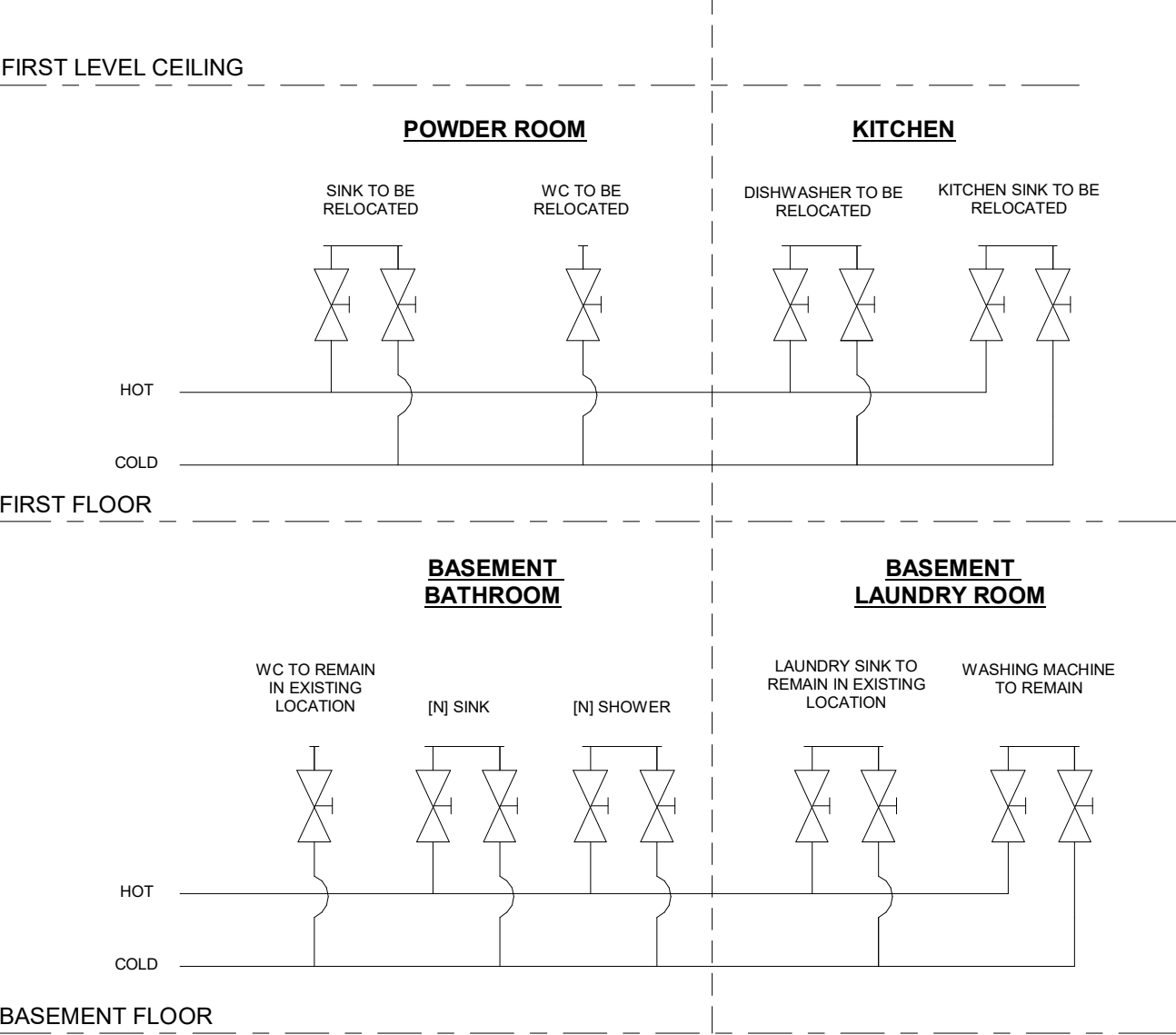


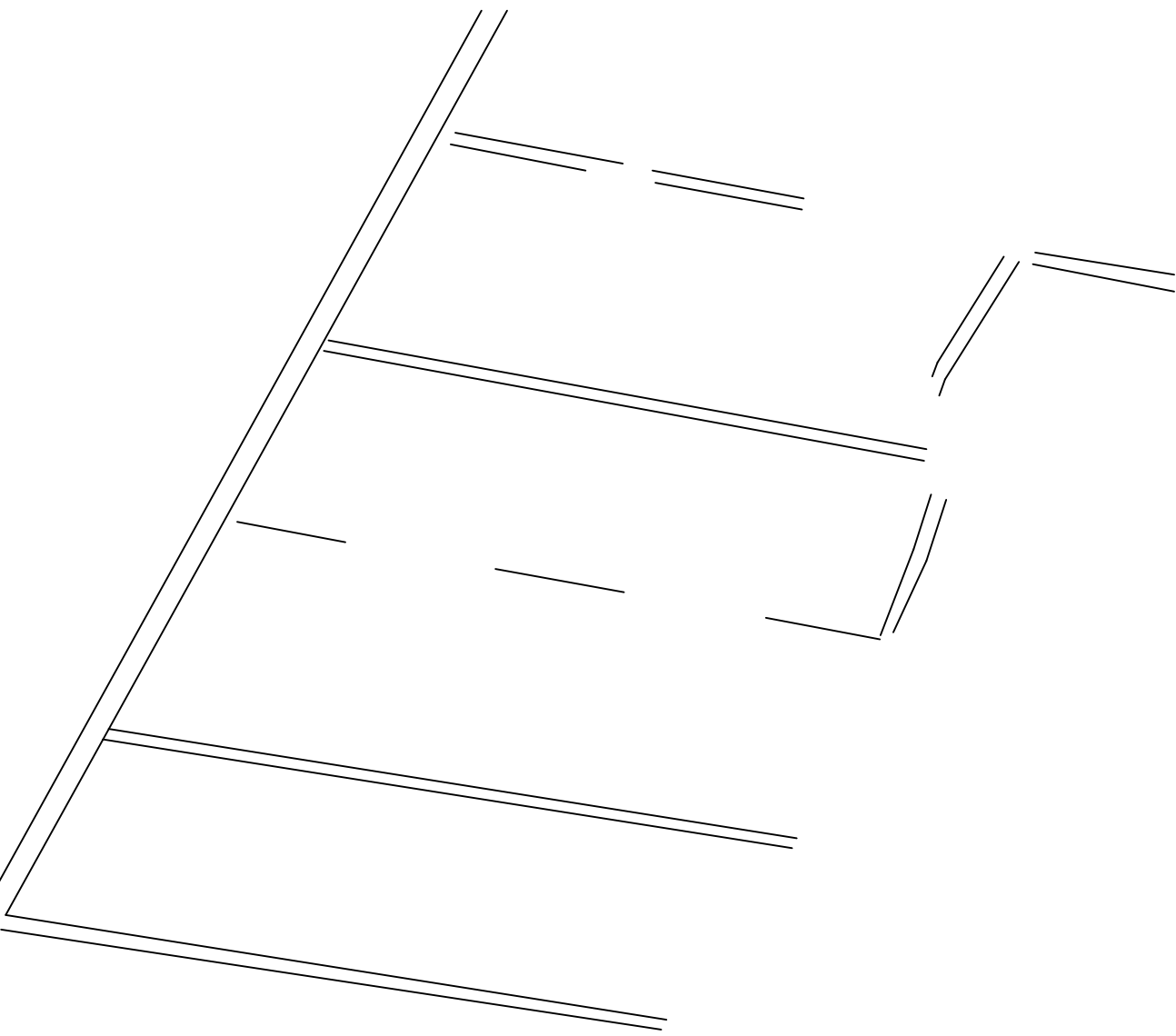
PLUMBING RISER DIAGRAM



SUPPLY DIAGRAM



LOCATION PLAN



SITE PLAN

PHOTO OF EXISTING BACK OF HOUSE



CODE INFORMATION

1. Occupancy Use: R5 1 Family

2. Counstruction Type: 5B

3. Ground Snow Load: 20 PSF

4. Wind Speed: 100 MPH

5. Seismic Catagory: N/A

6. Weathering: Severe

7. Frost Line Depth: 36"

8. Termite: Moderate to Heavy

9. Design Load:
Roof:
Live Load: 30 PSF
Dead Load: 12 PSF
Attic Areas:
Live Load: 20 PSF
Dead Load: 12 PSF
All Other Areas:
Live Load: 40 PSF
Dead Load: 12 PSF
- Building / Site Characteristics

1. Number of Stories: 2.5 + basement

2. Height of Building: ~30'

3. Area - Largest Floor: 1st Floor: 1080 SF

4. New Building Area: 16 SF

5. Volume of New Structure: 128 SF

Codes:

Building Subcode (NJAC 5:23-3.14)

Plumbing Subcode (NJAC 5:23-3.15)

Electrical Subcode (NJAC 5:23-3.16)

Energy Subcode (NJAC 5:23-3.18)

Mechanical Subcode (NJAC 5:23-3.20)

One- and two- family Dwelling Subcode (NJAC 5:23-3.21)

Rehabilitation Sub-code Designation (NJAC 5:23-6.1): Alteration

GENERAL NOTES

- 1.Remove and legally dispose of all partitions noted for removal and associated debris such as (E) electrical + (E) plumbing as required to accommodate new construction.
- 2.Patch + repair (E) walls or partitions to remain where adjacent partitions have been demolished, removed, or replaced. New finishes shall match adjacent finishes unless noted otherwise.
- 3.Remove, store, clean, and reinstall (E) air supply, distribution grills and registers only as required to accommodate new construction and as required to avoid damage during construction activities.
- 4.All new exteriors windows, doors, openings, and penetrations shall be carefully flashed and counter flashed in accordance with standard practices for construction and in accordance with manufacturer's recommendations. Typical unless noted otherwise.
5. Contractor to size all plumbing

The contractor is required to visit the site and review all conditions noted or drawn. Report any discrepancies or interfering field conditions to the archliect prior to construction in writing. The contractor is responsible for the coordination of new and existing building conditions to achieve the correct fit and finish of the proposed construction. This is a requirement of the construction of the documents.

ABBREVIATION LEGEND

&	And	INSUL	Insulated or Insulation	T&G	Tongue And Groove
@	At	INT	Interior	TLT	Toilet
AFF	Above Finished Floor	LO	Low	TME	To Match Existing
BSMT	Basement	MAX	Maximum	TO	Top Of
BYND	Beyond	MO	Masonry Opening	TOC	Top Of Concrete
BOT	Bottom	MECH	Mechanical	TPD	Toilet Paper Dispenser
CLG	Ceiling	MIN	Minimum	T/D	Telephone/Data
CLR	Clear	MTL	Metal	TYP	Typical
CMU	Concrete Masonry Unit	[N]	New	UNO	Unless Noted Otherwise
COL	Column	NIC	Not In Contract	U/S	Underside
CONC	Concrete	NO	Number	VIF	Verify In Field
CONT	Continuous	NOM	Nominal	W/	With
CPT	Carpet	NTS	Not To Scale	WD	Wood
CT	Ceramic Tile	OC	On Center		
DBL	Double	OH	Overhang		
DEMO	Demolish or Demolition	OPP	Opposite		
DIA	Diameter	OZ	Ounce		
DIM	Dimension	PLUMB	Plumbing		
DIMS	Dimensions	PLYD	Plywood		
DN	Down	PT	Pressure Treated		
DR	Door	PNT	Paint or Painted		
DWG	Drawing	PVC	Polyvinyl Chloride		
EA	Each	RBR	Rubber		
EL	Elevation	RCP	Reflected Ceiling Plan		
ELEC	Electrical	RD	Roof Drain		
ELEV	Elevation	REQD	Required		
EQ	Equal	RM	Room		
[E]	Existing	SIM	Similar		
EXT	Exterior	SPEC	Specification		
FIXT	Fixture	SPK	Sprinkler or Speaker		
FLR	Floor	SSTL	Stainless Steel		
GWB	Gypsum Wall Board	STC	Sound Transmission		
HVAC	Heating, Ventilating, And Air Conditioning	STL	Steel		
		STRUCT	Structural		

SCOPE OF WORK

- BASEMENT**

- New walls added to create a laundry room, a bathroom, closets, and a mechanical room.
 - A shower and sink are added in the new bathroom.
 - The HVAC units are relocated.
 - New electrical and lighting will be added.
- FIRST FLOOR**

- The powder room is relocated into a 16 SF bump out. The bump out is structurally supported under the existing deck.
 - Kitchen to be remodeled.
 - The existing exterior back door and bay window are to be removed in the kitchen.
 - Three new windows are added to the kitchen.
 - The back door is relocated outside the kitchen in a new vestibule.
 - New electrical and lighting will be added.

PROJECT CONTACTS

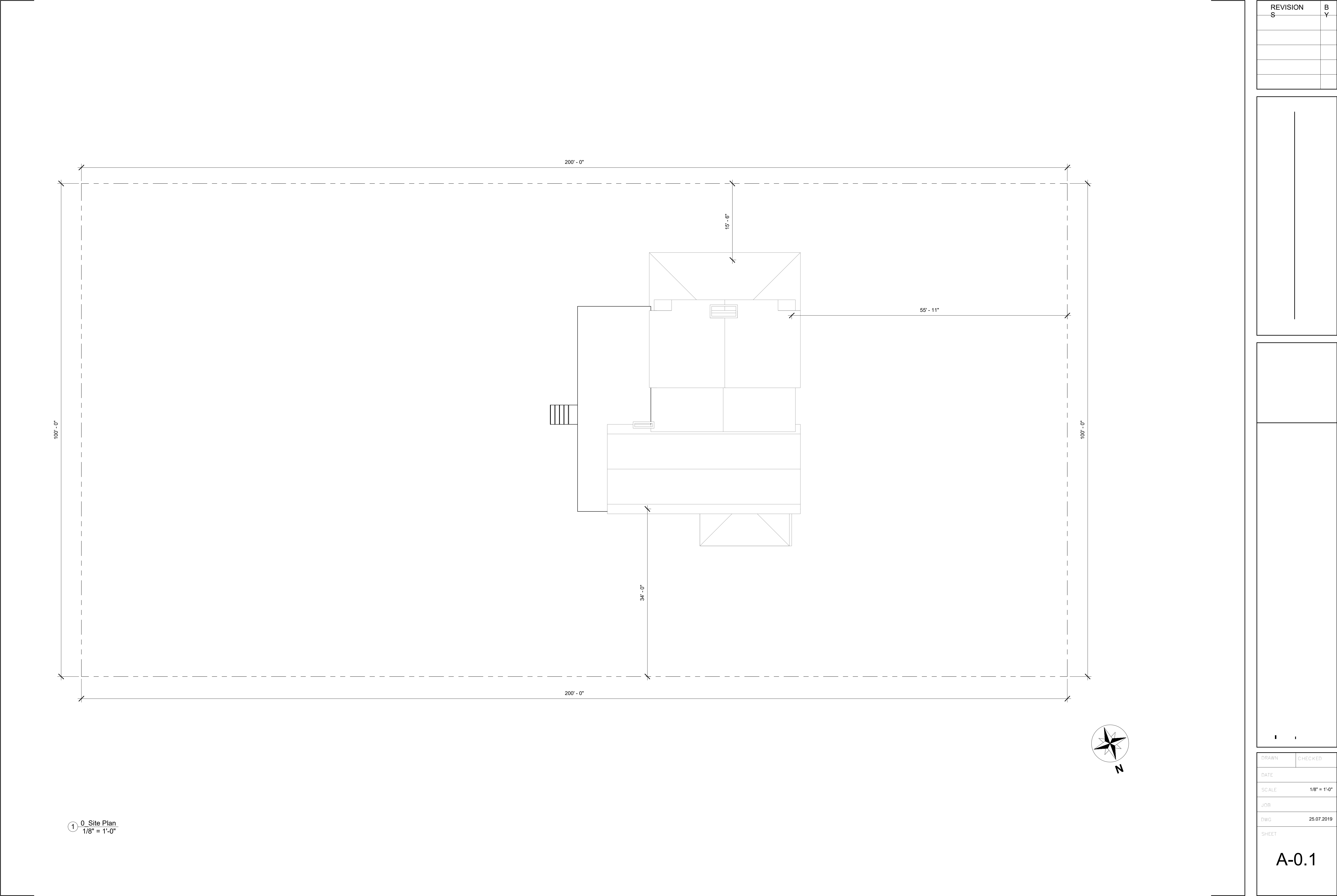
SHEET LIST

- T-1
- TITLE SHEET
- A-0
- BASEMENT FLOOR PLANS
- A-1
- ENTRY FLOOR PLANS
- A-2
- EXTERIOR ELEVATIONS
- AI-1
- INTERIOR ELEVATIONS
- E-1
- ELECTRICAL AND LIGHTING PLAN

REVISION	B
S	Y

DRAWN	CHECKED
DATE	
SCALE	1/4" = 1'-0"
JOB	
DWG	25.07.2019
SHEET	

_T-1

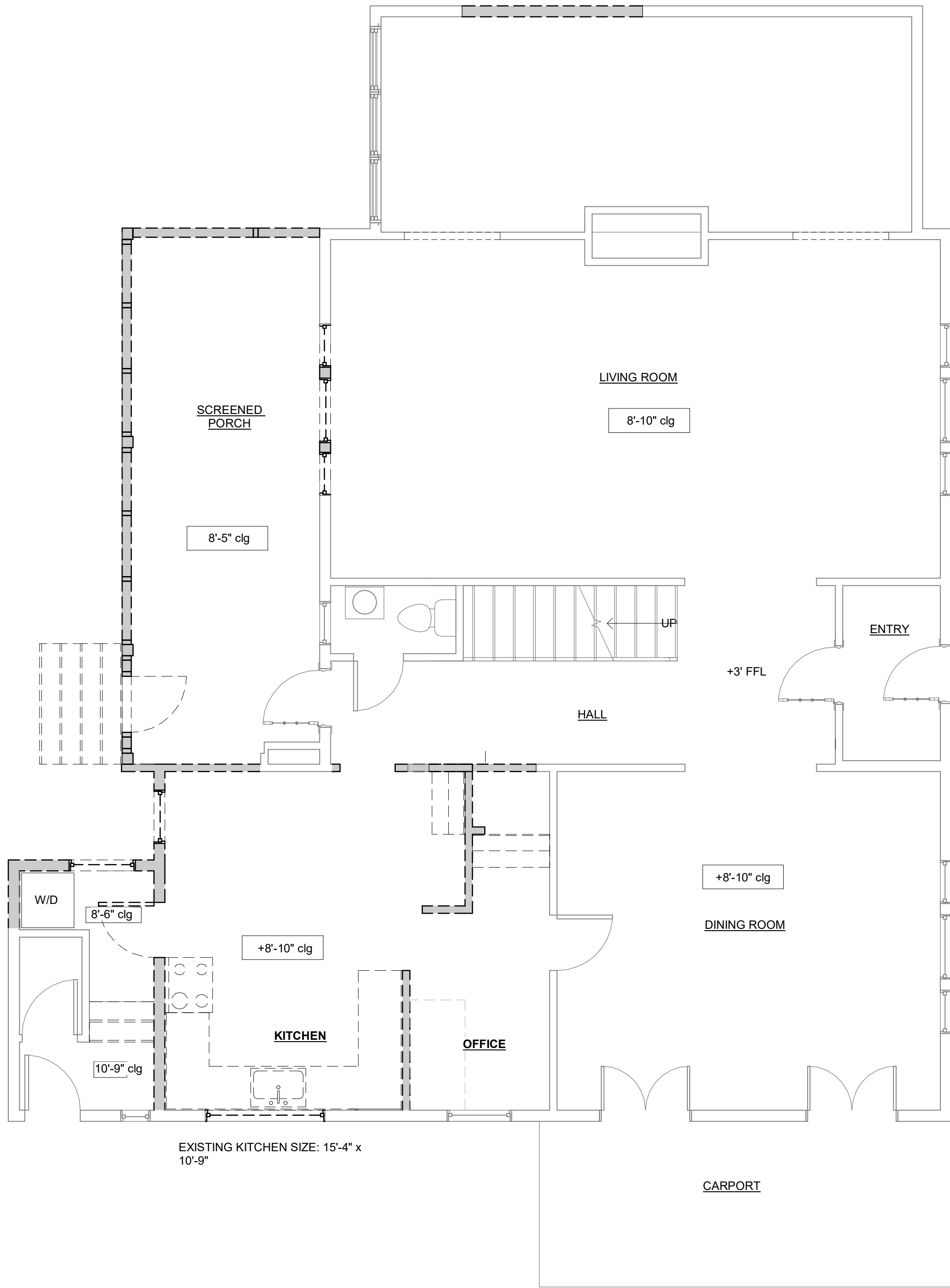


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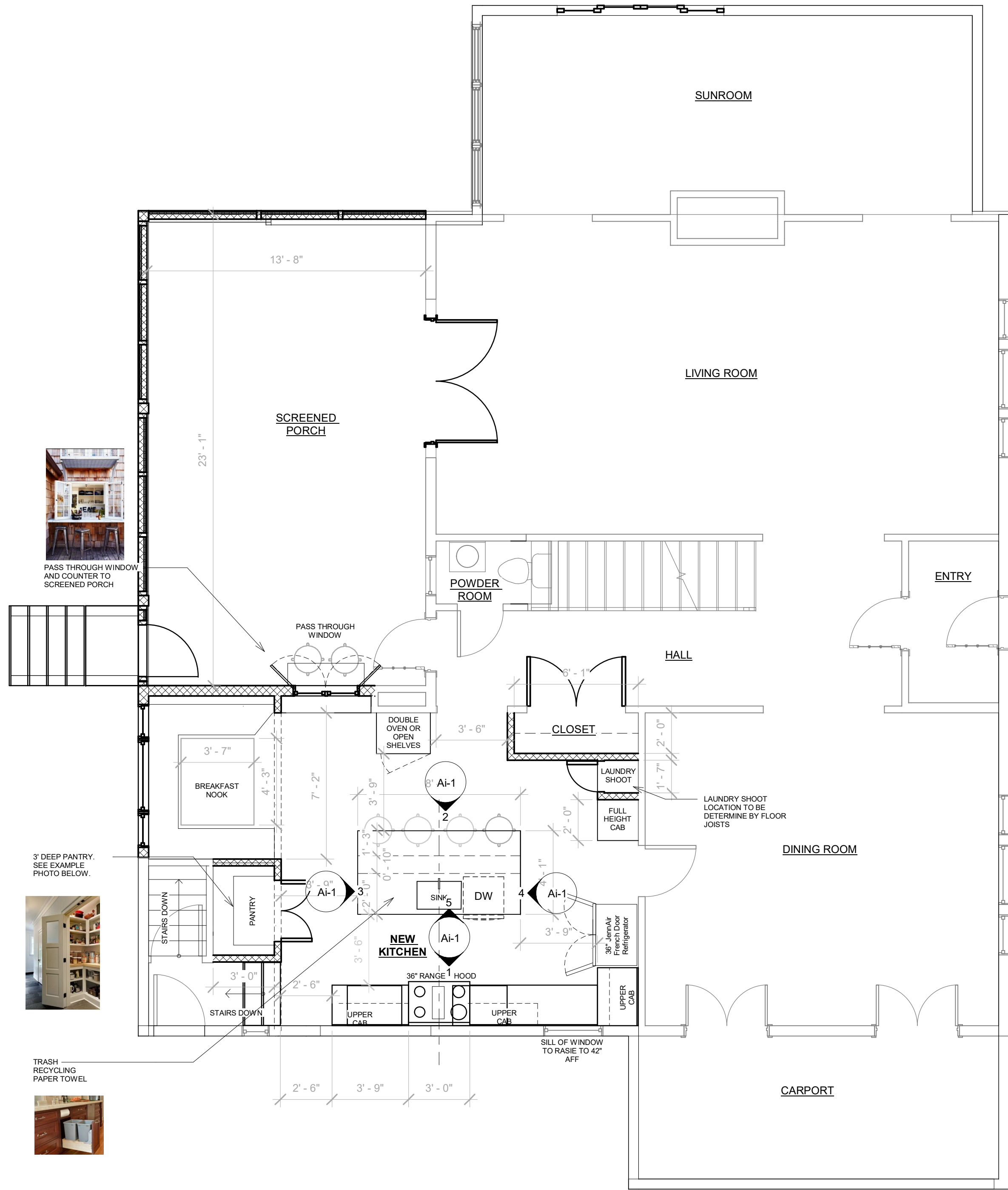
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A-1

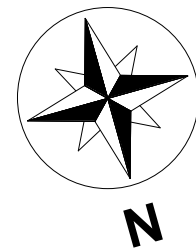
OPTION #2
Larger kitchen, no pantry

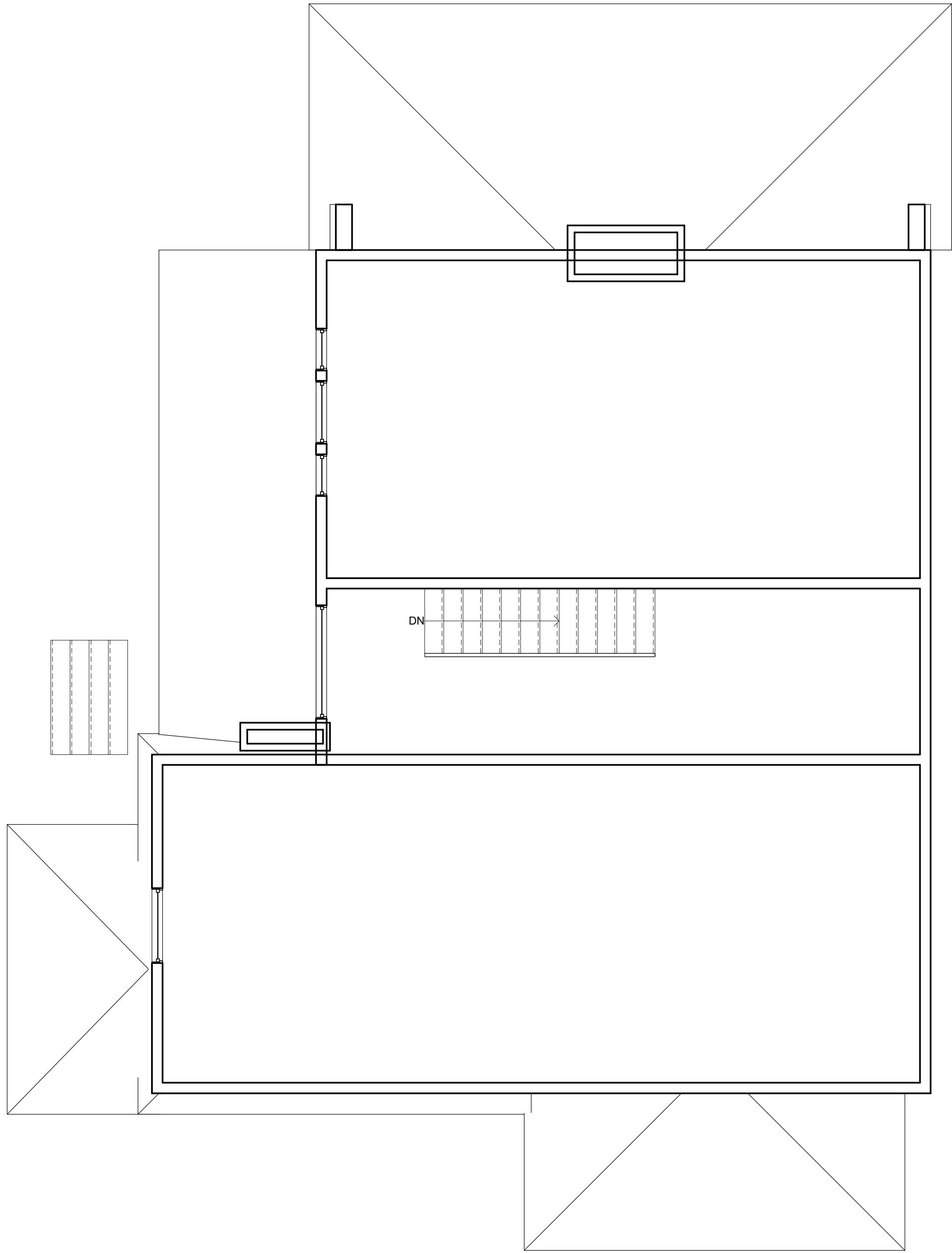


1 5 Existing - Entry Floor
1/4" = 1'-0"

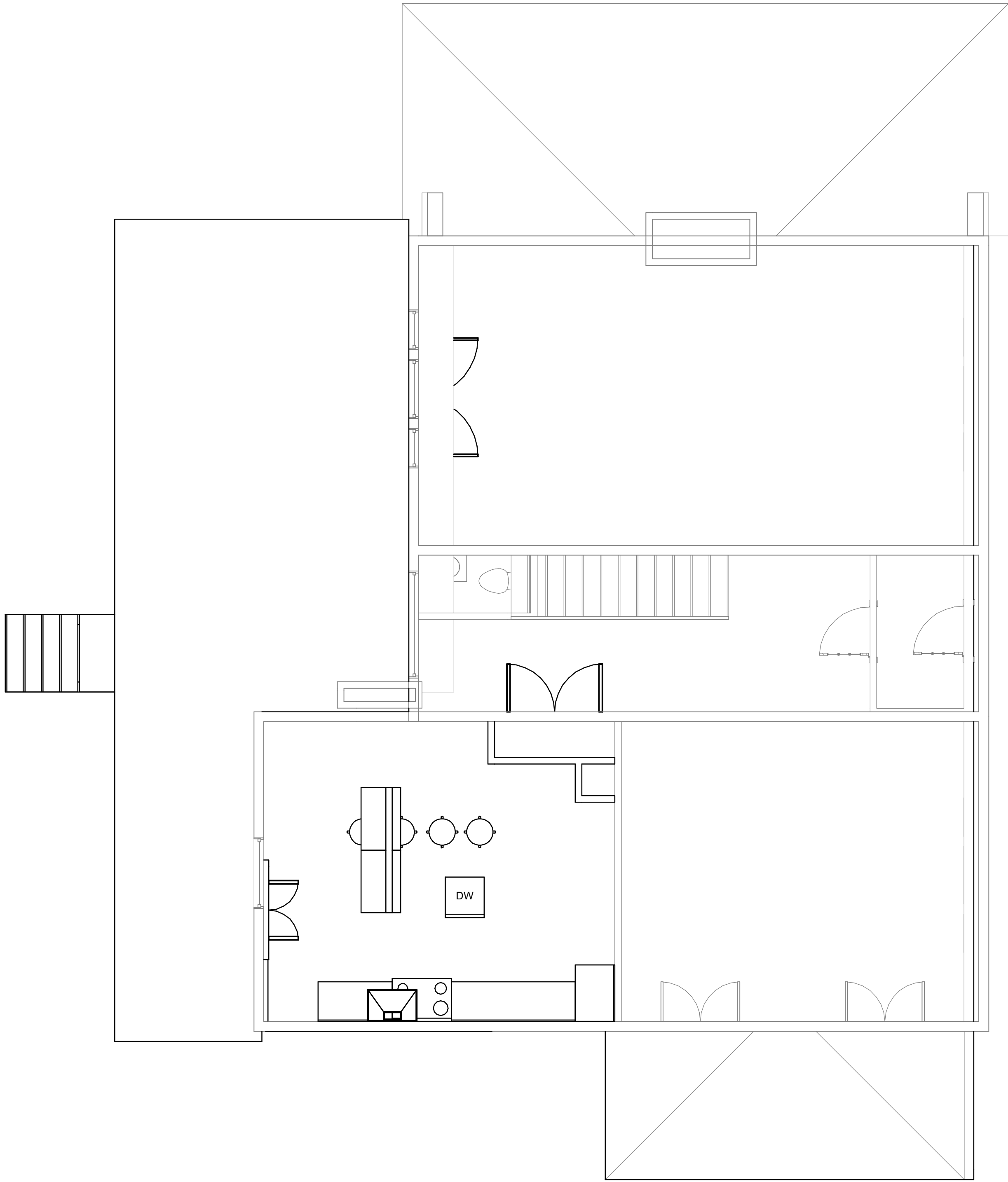


2 2 Proposed - Entry Floor
1/4" = 1'-0"



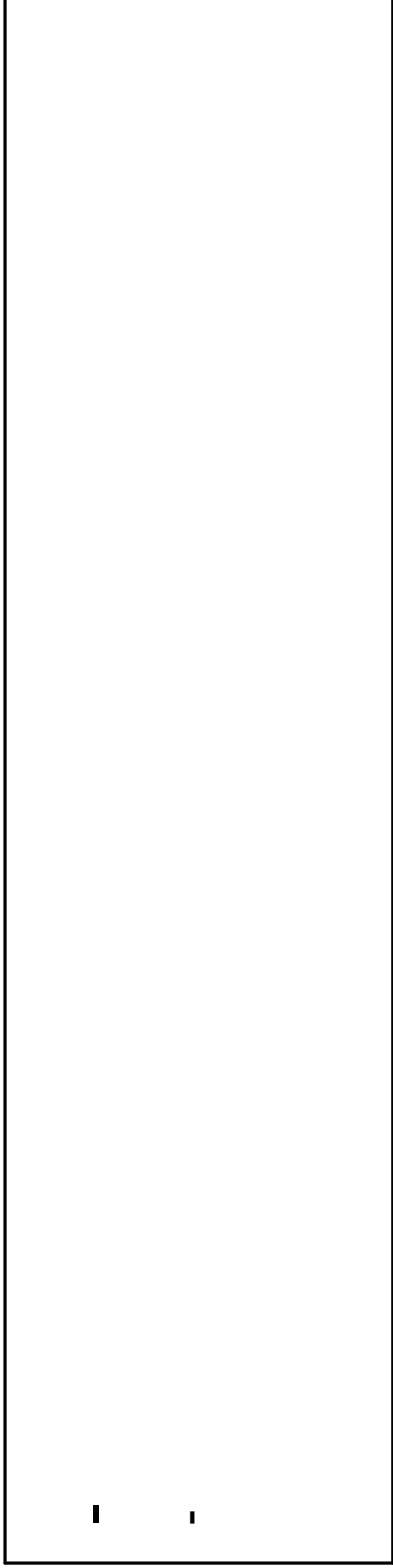
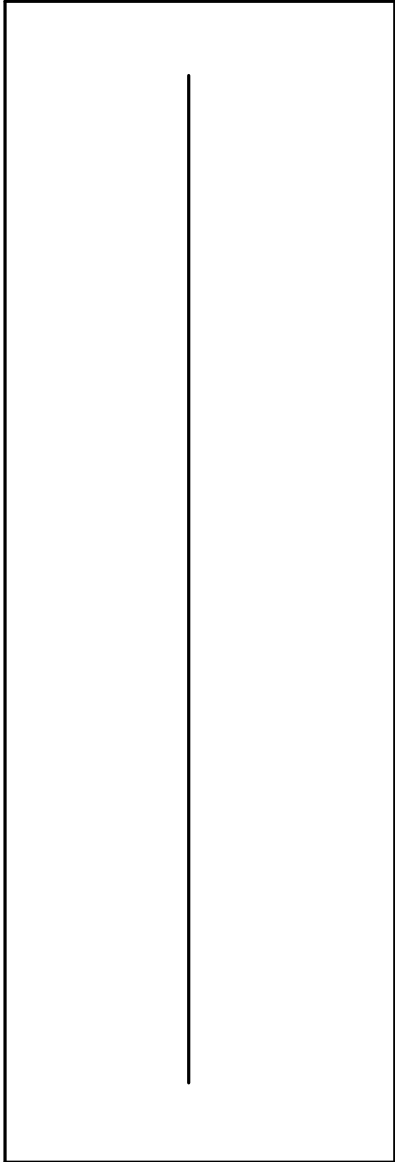


① 6 Existing- Second Level
1/4" = 1'-0"



② 3 Proposed- Second Level
1/4" = 1'-0"

REVISION	B
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DRAWN	CHECKED
DATE	
SCALE	1/4" = 1'-0"
JOB	
DWG	25.07.2019
SHEET	

A-2



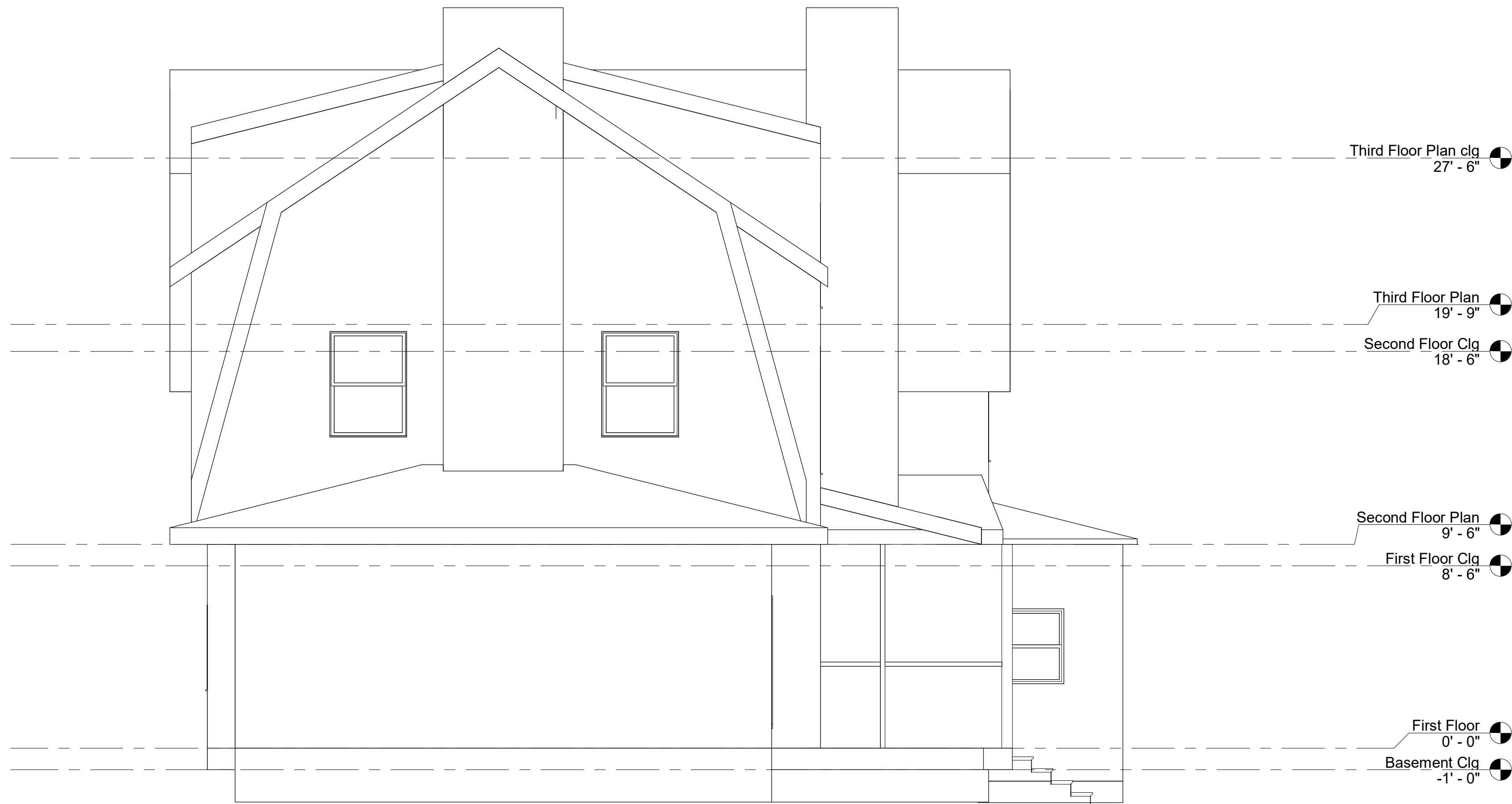
① Back Side Elevation
1/4" = 1'-0"

REVISION	B
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DRAWN	CHECKED
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SCALE	1/4" = 1'-0"
JOB	
DWG	25.07.2019
SHEET	



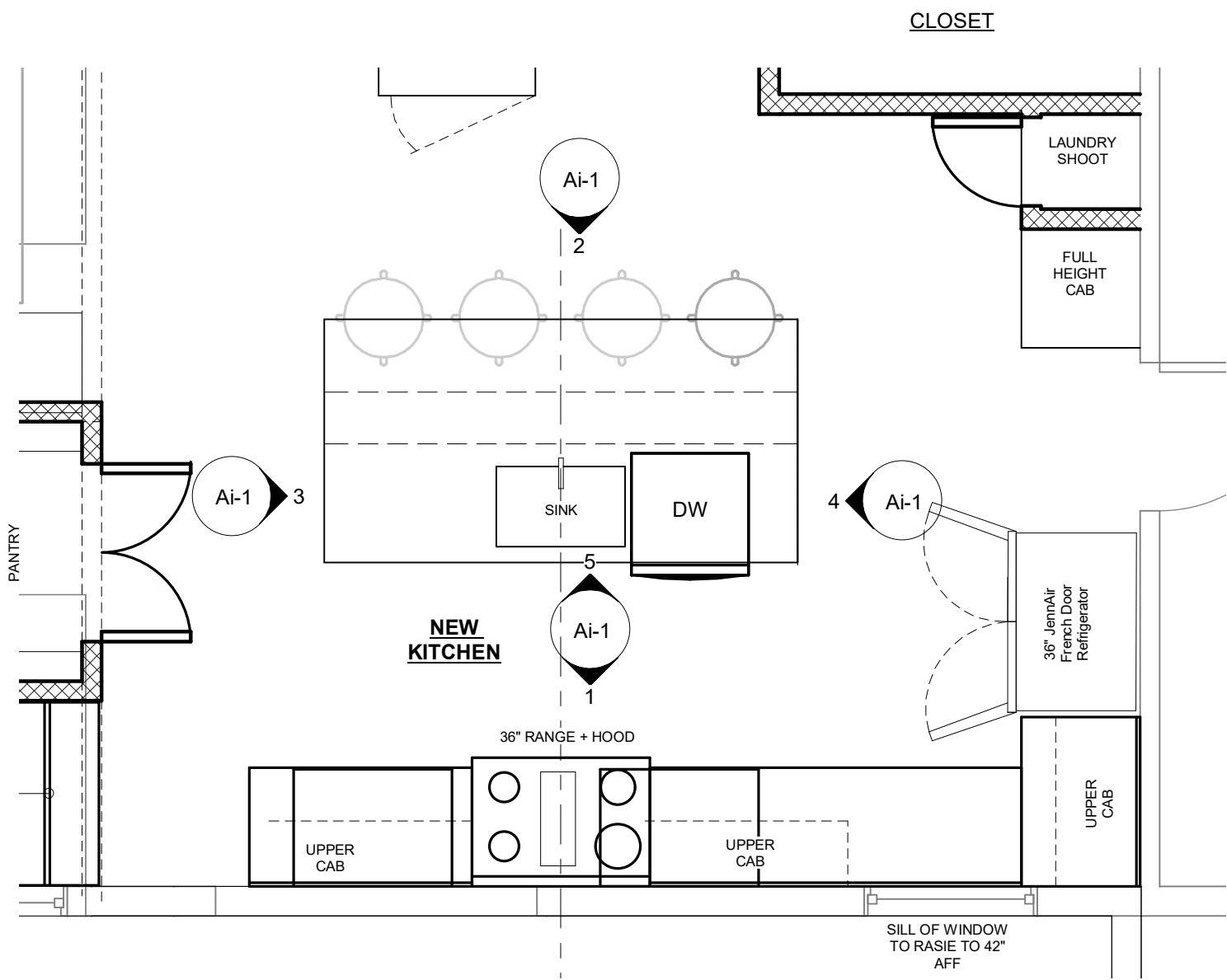
① Elevation 3 - b
1/4" = 1'-0"



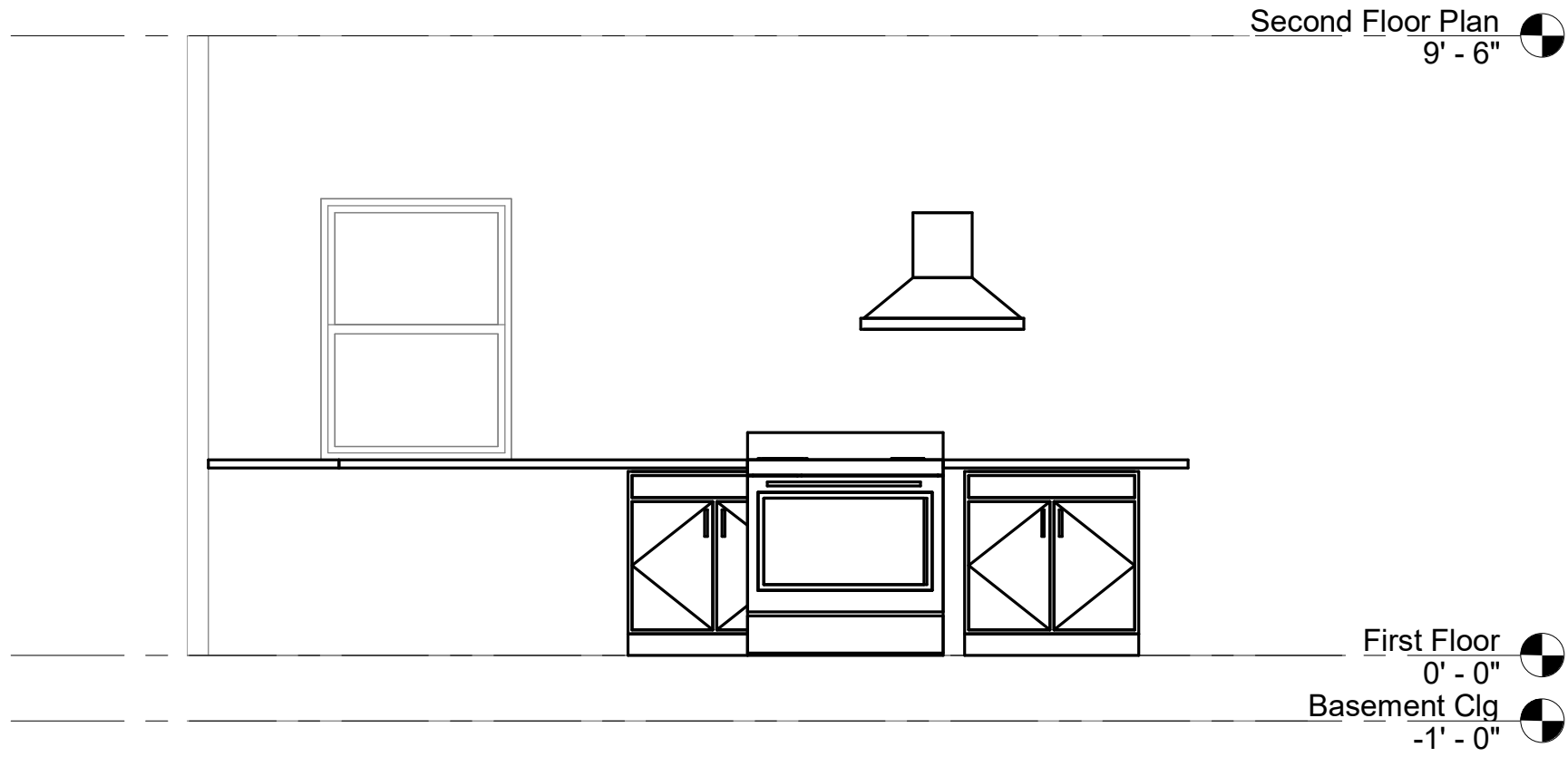
② Elevation 4 - d
1/4" = 1'-0"

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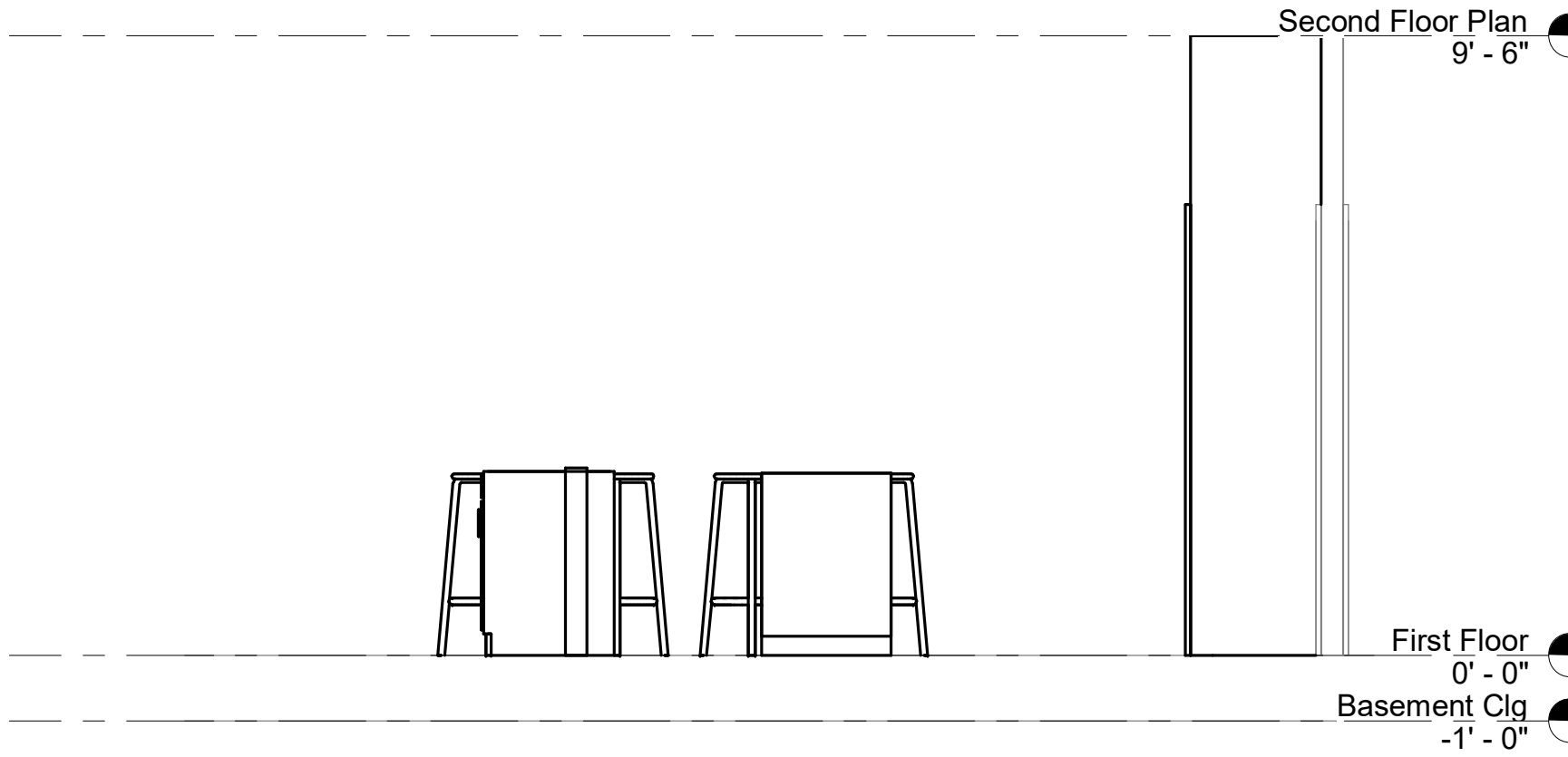
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SHEET	



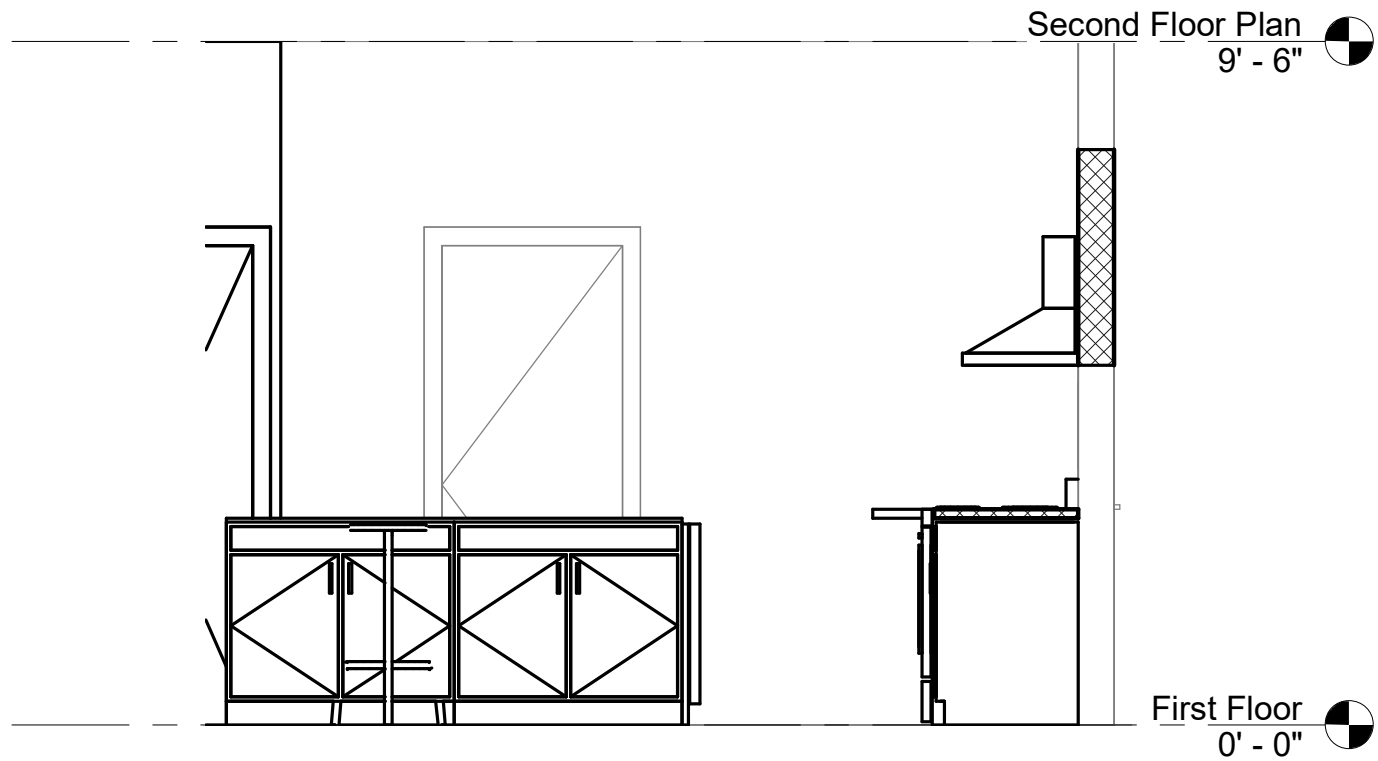
⑥ 2_Proposed - Kitchen Plan
3/8" = 1'-0"



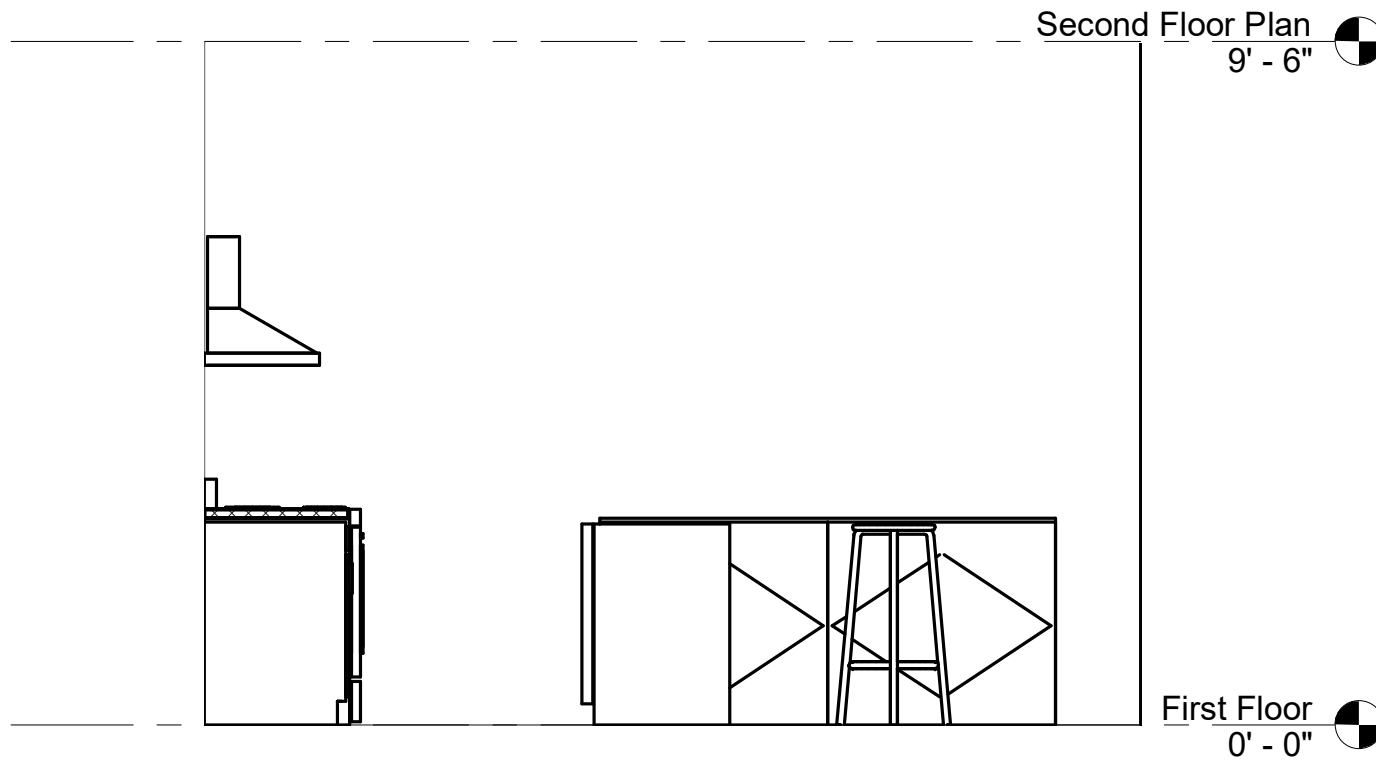
① Kithen Elevation A
3/8" = 1'-0"



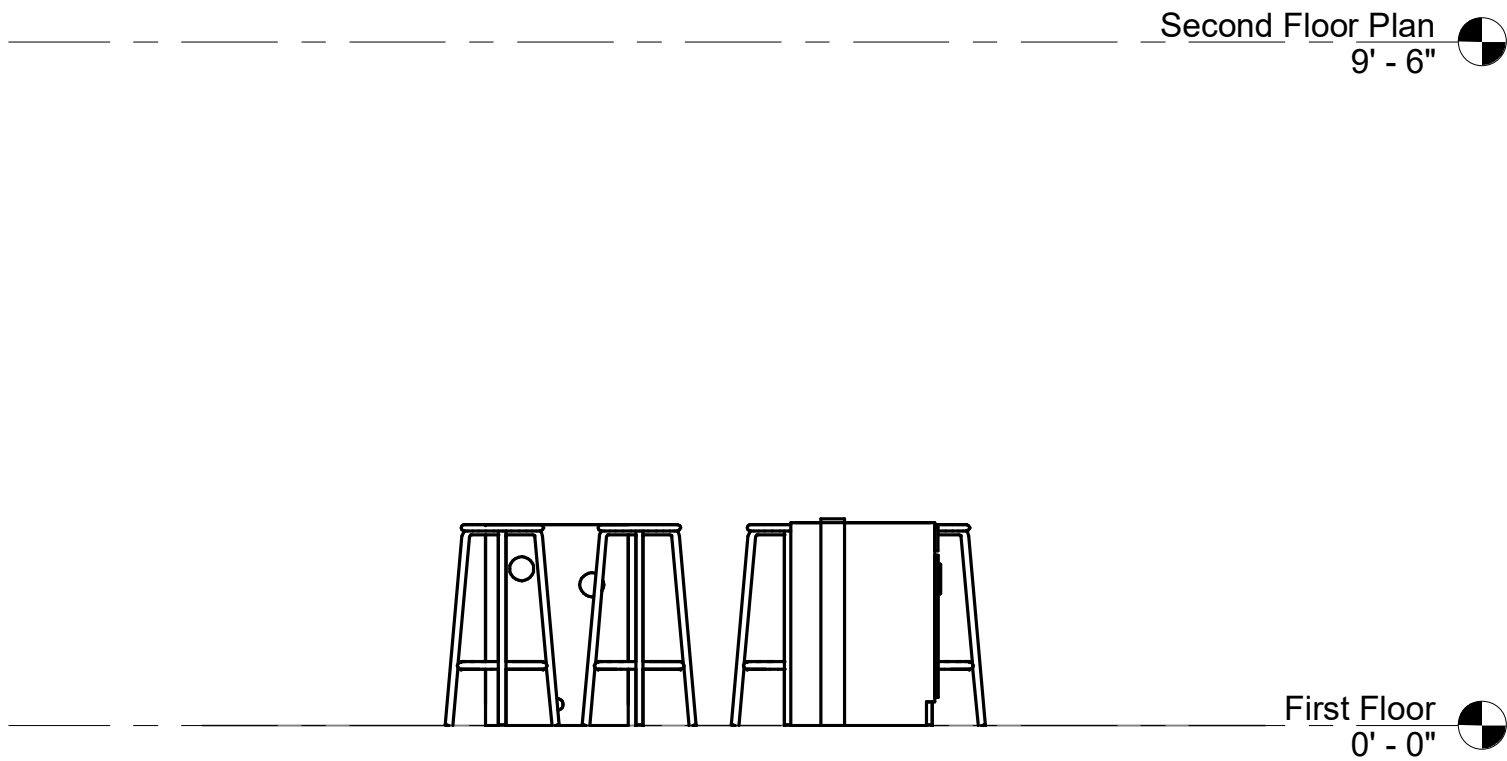
⑤ Kithen Elevation B
3/8" = 1'-0"



③ Kithen Elevation C
3/8" = 1'-0"

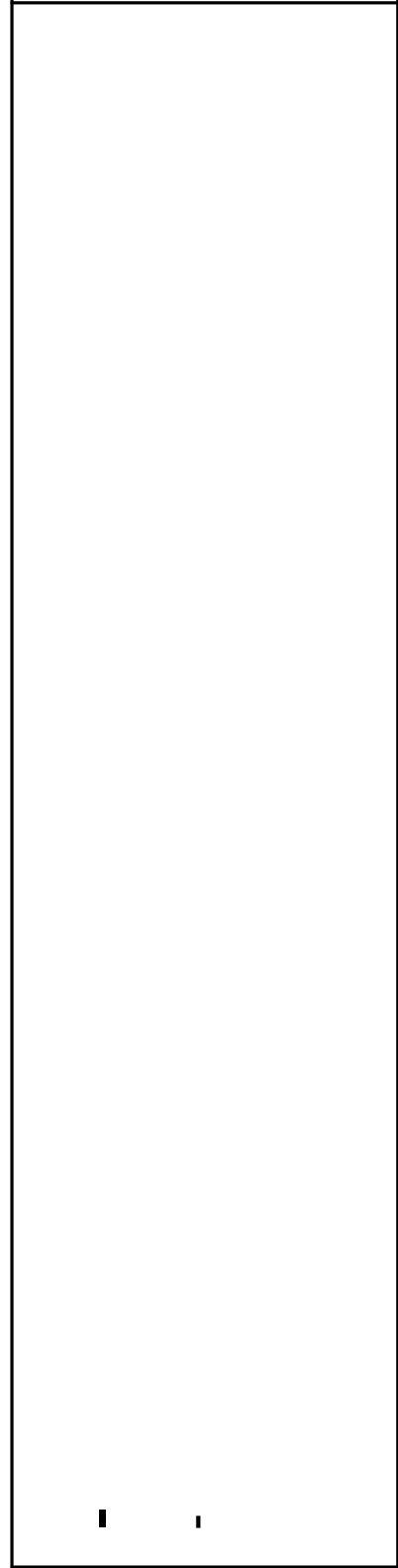
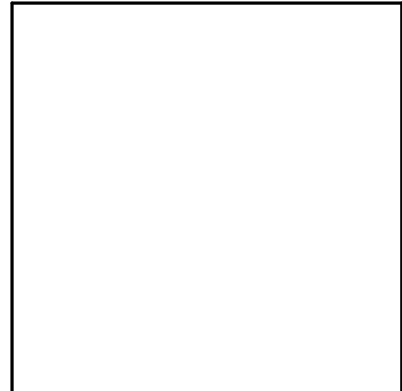
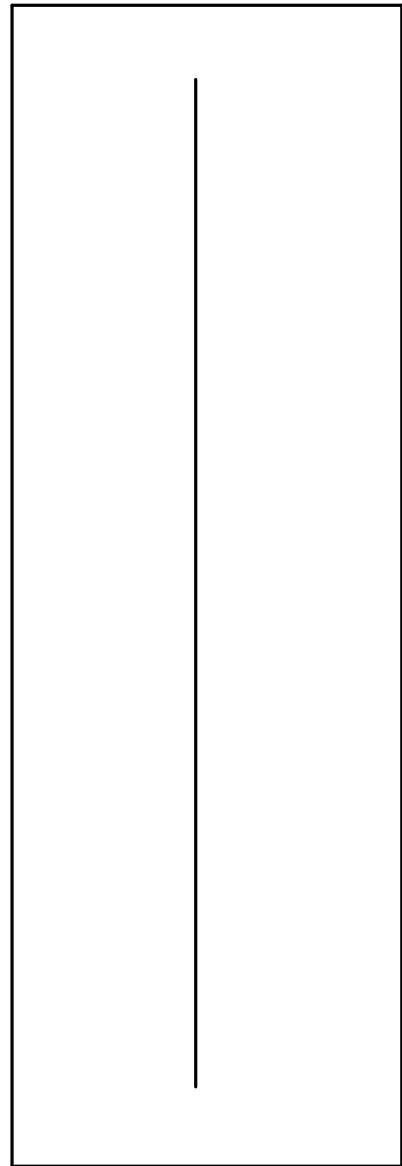


④ Kithen Elevation D
3/8" = 1'-0"



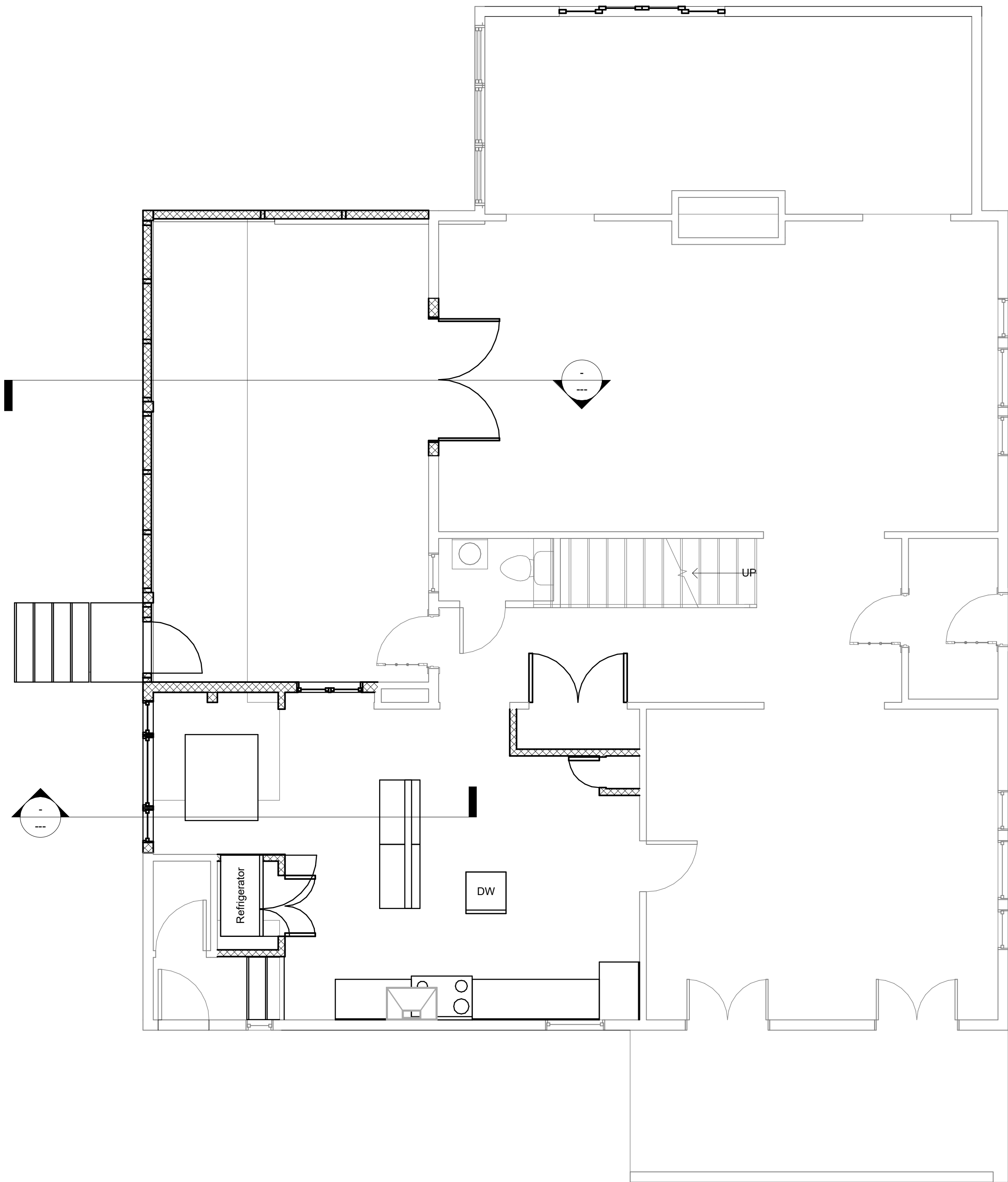
② Kithen Elevation E
3/8" = 1'-0"

REVISION	B
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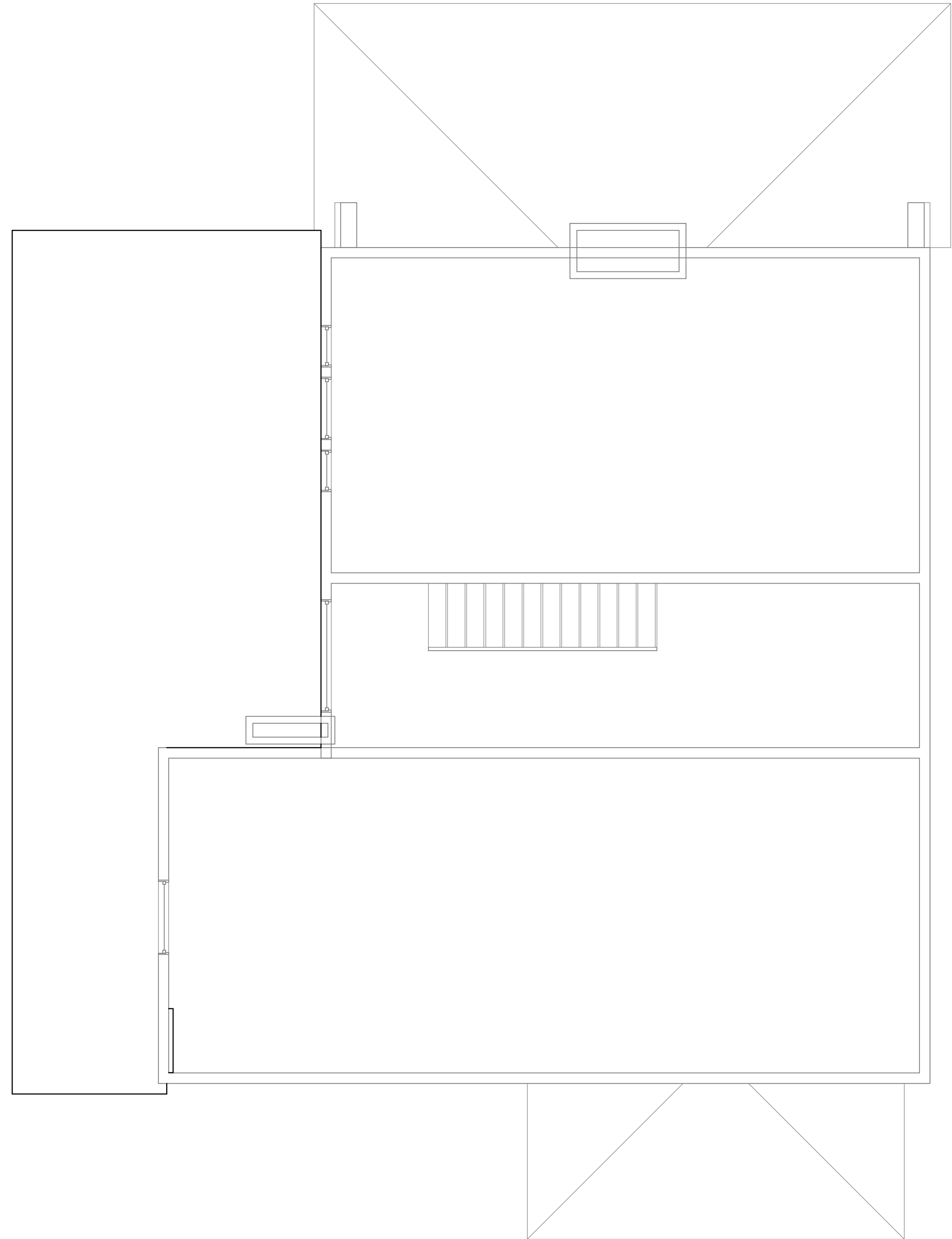


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SHEET	

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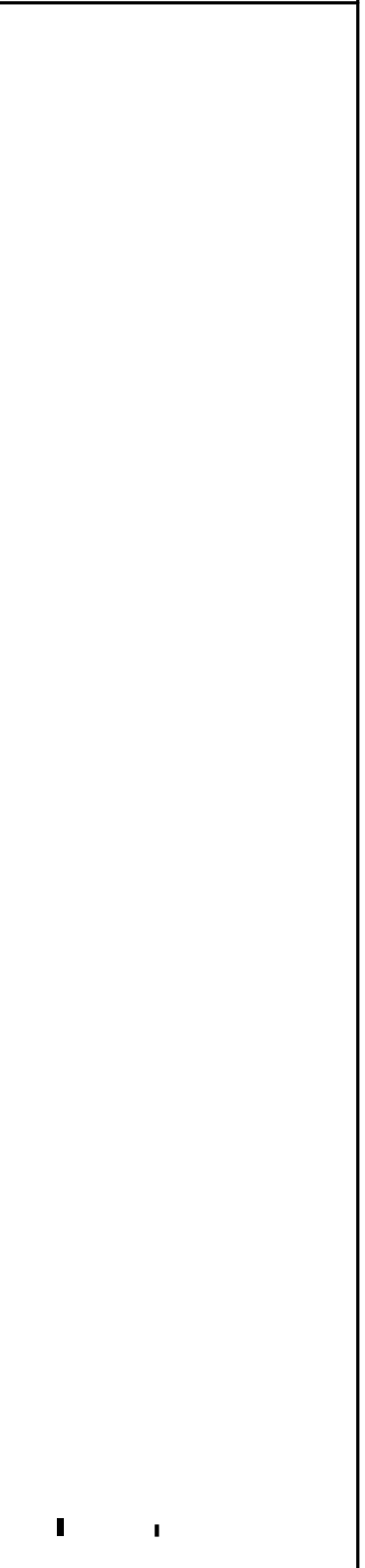
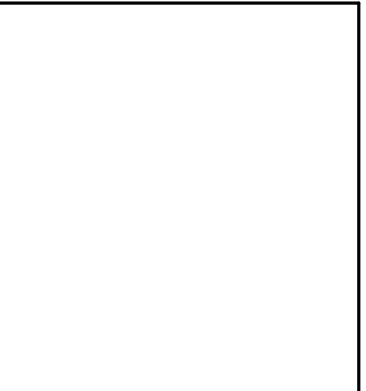
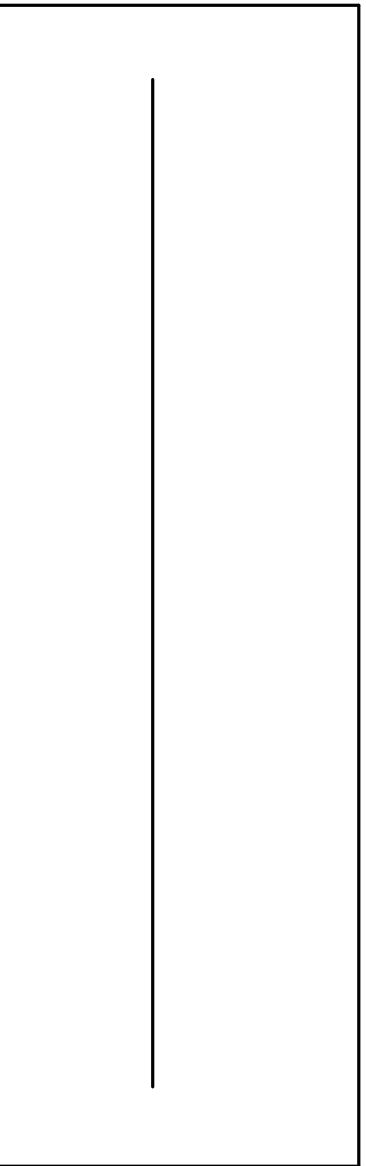


② 11 Structural - Second Floor Framing Plan
1/4" = 1'-0"



③ 12 Structural - Third Floor Framing Plan
1/4" = 1'-0"

REVISION	B
S	Y



DRAWN	CHECKED
DATE	
SCALE	1/4" = 1'-0"
JOB	
DWG	25.07.2019
SHEET	

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